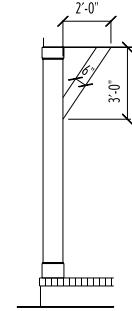




NOTE: BOARD AND BATTEN AT 2" SPACING WITH 2" BATTEN STRIPS



call: 615.542.4675
 web: jtaylor designs.net

VERIFY ALL LOCAL CODES, CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JAMIE TAYLOR FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED. JAMIE TAYLOR ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED



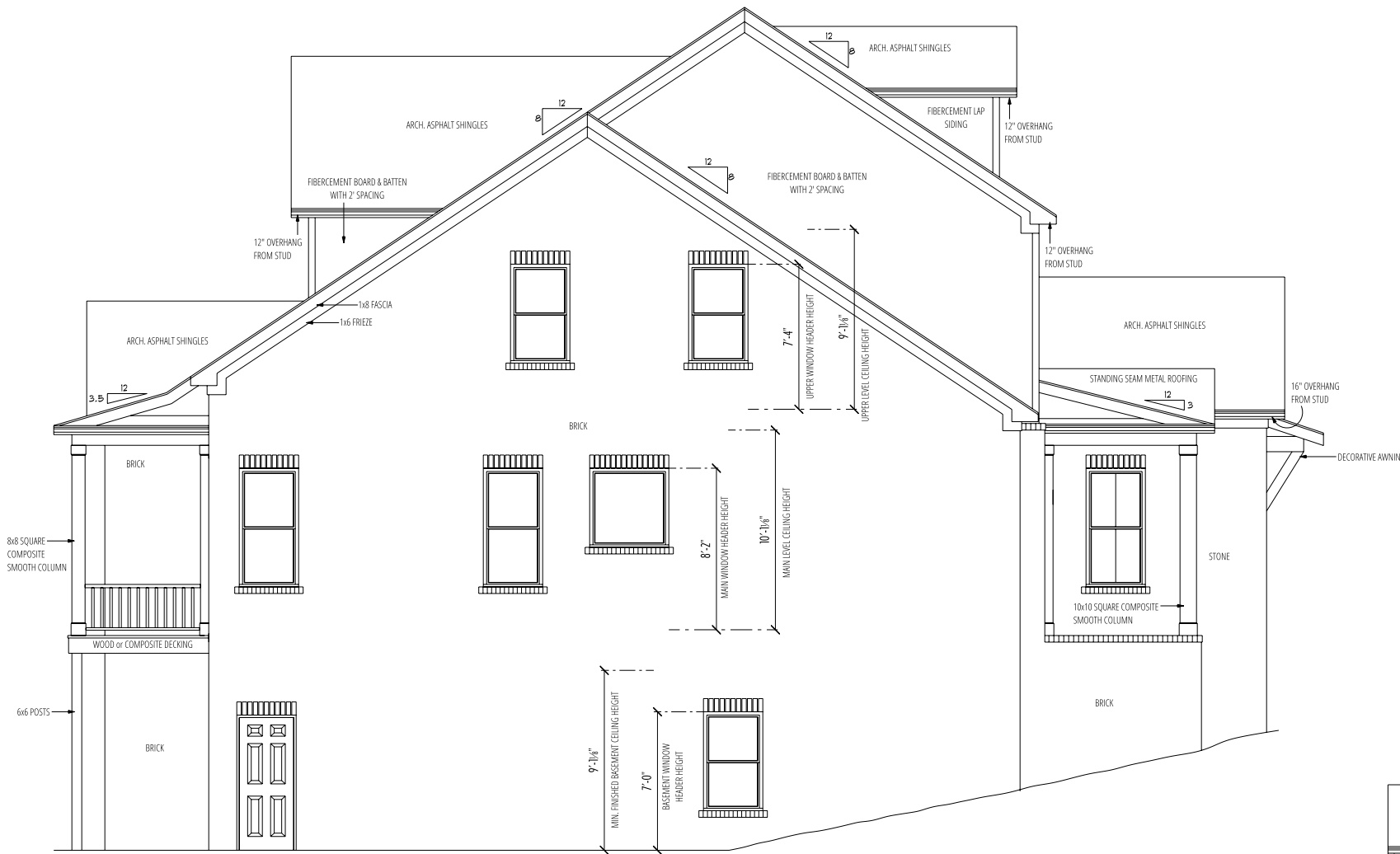
REAR ELEVATION

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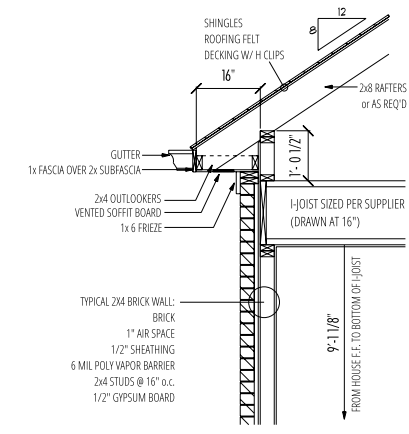
EXTERIOR ELEVATIONS
 PROJECT: **GLADSTONE C**
Aarons Cress Lot 203
 Permit

DATE APPROVED: SEPT. 2022
 SHEET SIZE: 11 X 17
 SCALE: 1/8" = 1'-0"
 (UNLESS NOTED)

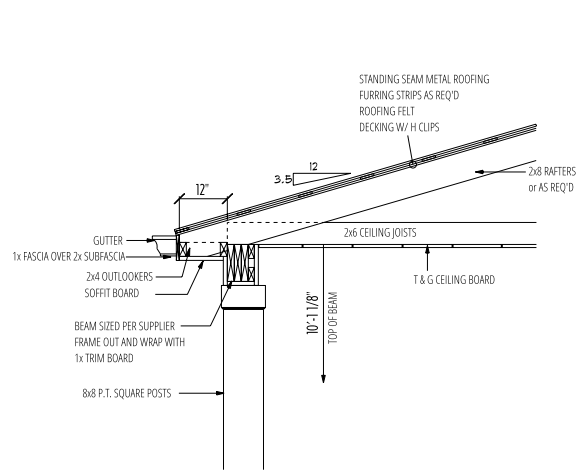
VERIFY ALL LOCAL CODES, CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JAMIE TAYLOR FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED. JAMIE TAYLOR ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED



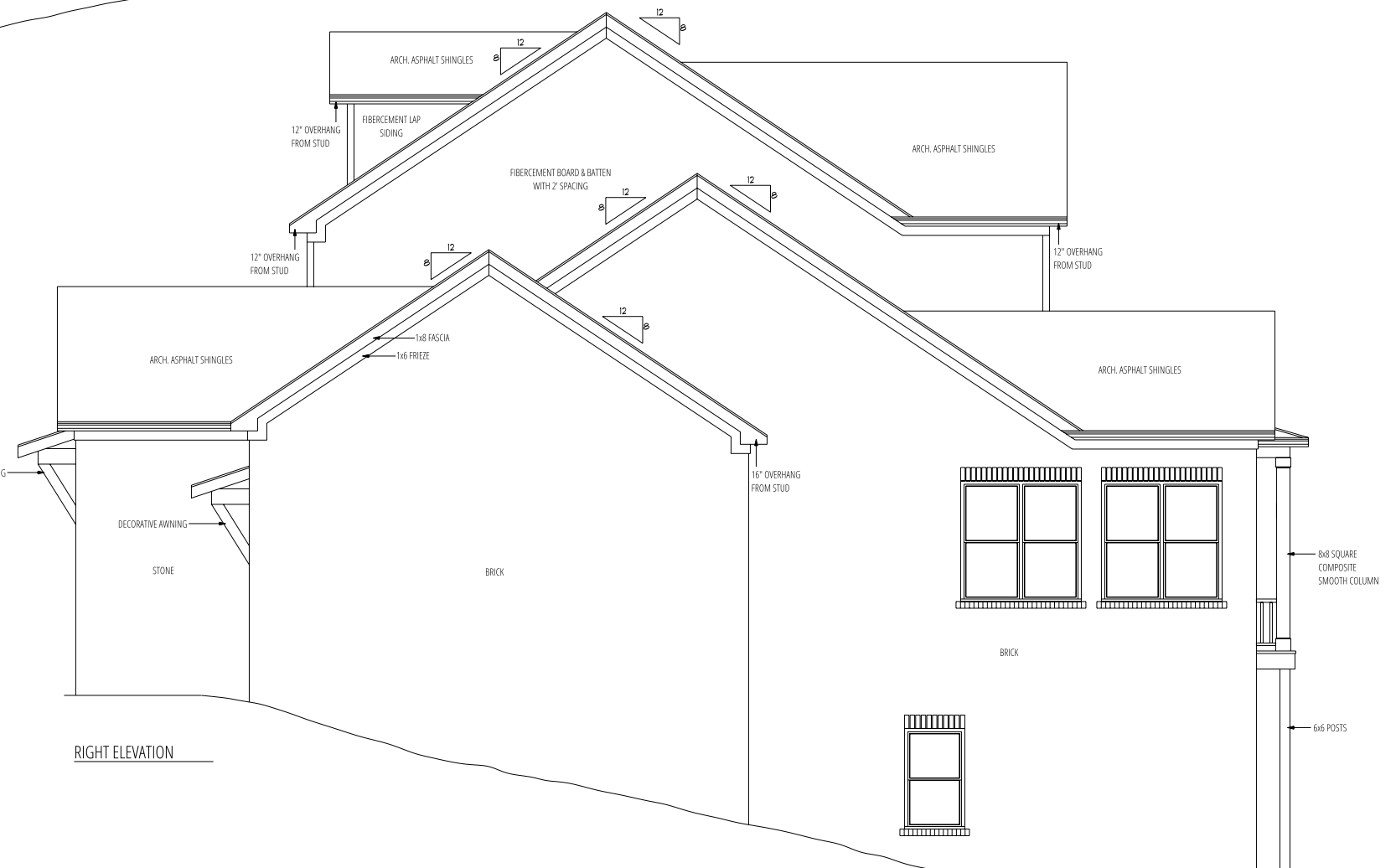
LEFT ELEVATION



I FRAMING DETAIL



H FRAMING DETAIL

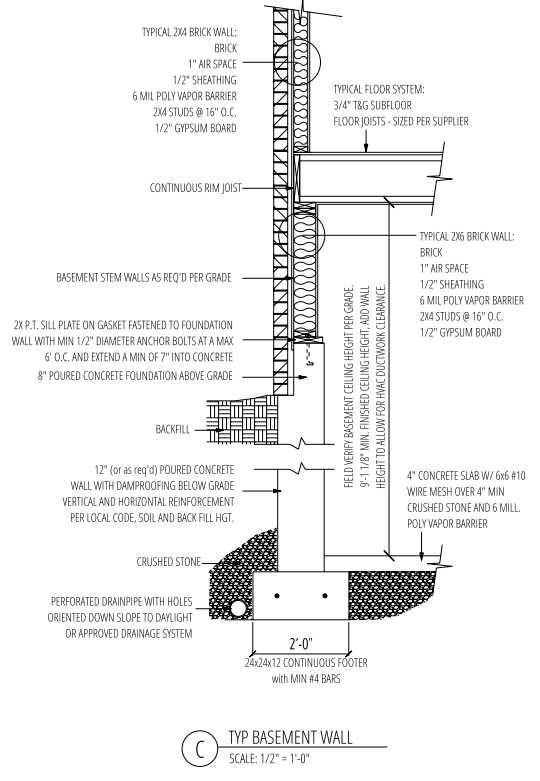
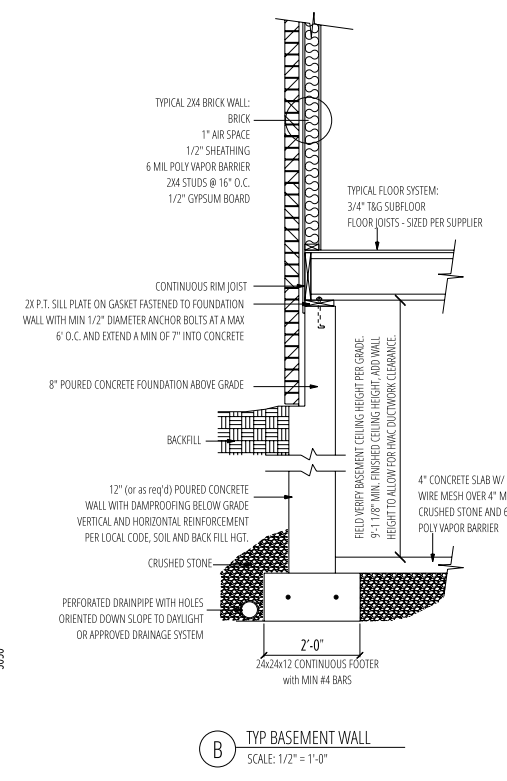
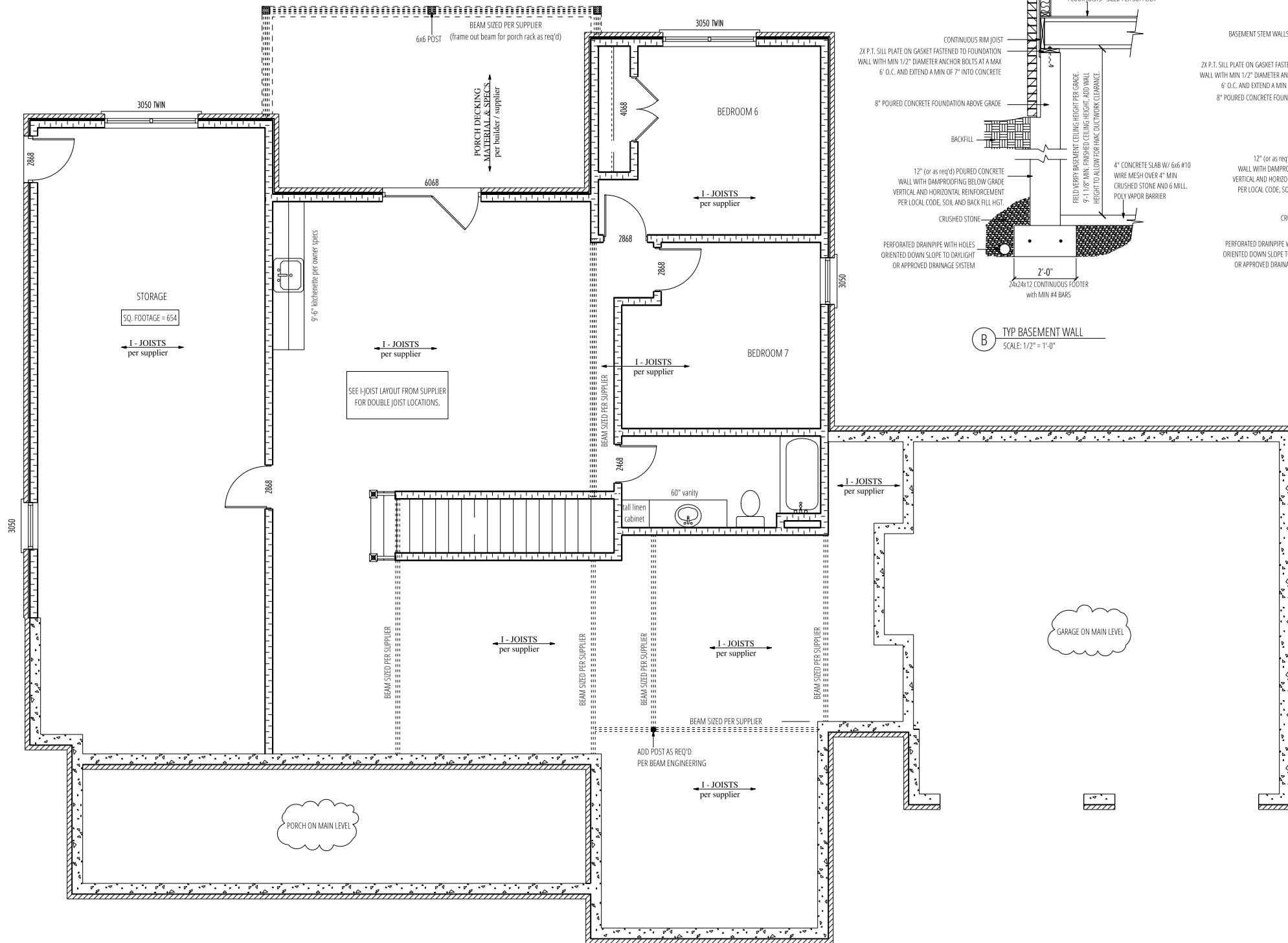


RIGHT ELEVATION

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EXTERIOR ELEVATIONS
 PROJECT: **GLADSTONE C**
Aarons Cress Lot 203
 Permit

DATE APPROVED:
 SEPT. 2022
 SHEET SIZE:
 11 X 17
 SCALE: 1/8" = 1'-0"
 (UNLESS NOTED)
 SHEET:



GENERAL FLOOR PLAN NOTES:
 DIMENSIONS PULLED FROM OUTSIDE OF STUD.
 ALL WALLS ARE 2x6 @ 16 O.C., UNLESS NOTED
 HATCHING REPRESENTS 2x6 STUDS @16 O.C.
 LUMBER SUPPLIER AND/OR ENGINEER TO VERIFY SIZE OF ALL BEAMS.
 ANGLES ARE 45 DEGREES, UNLESS NOTED
 9'-1 1/8" FINISHED BASEMENT CEILING HGT
 DUE TO LOCAL CODES AND INSPECTIONS VARYING, CONTRACTOR SHALL VERIFY ALL CODES, CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE REPORTED TO JAMIE TAYLOR FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.

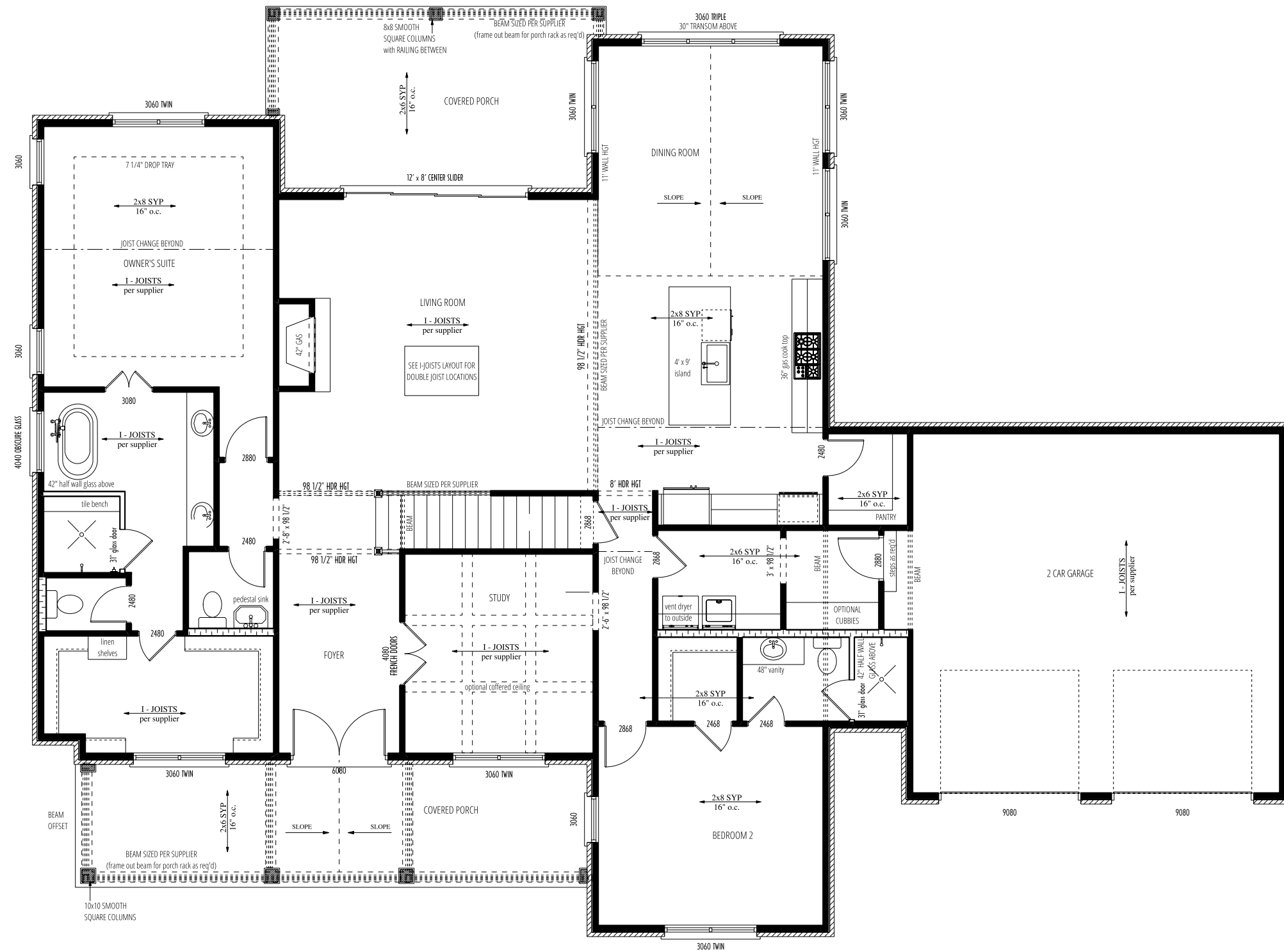


GENERAL ELECTRICAL AND LIGHTING NOTES:
 LIGHT FIXTURE LOCATIONS AND TYPE PER OWNER SPECS, UNLESS PLAN PROVIDED.
 OUTLET SPACING 6'-12'-2'; OUTLETS REQUIRED WITHIN 6' FROM ANY DOORWAY OR OPENING, 12' TO THE NEXT OUTLET (MAX DISTANCE OF 12' BETWEEN OUTLETS) AND ANY WALL SPACE 2' WIDE OR WIDER REQUIRES AN OUTLET.
 EACH ROOM MUST HAVE A WALL SWITCH CONTROLLED LIGHT FIXTURE OR SWITCHED OUTLET.
 WHEN INSTALLING RECESSED FIXTURES, MAKE SURE THE FIXTURE IS RATED FOR THE INSTALLATION. AN "IC" RATED FIXTURES IS REQUIRED WHEN INSULATION COMES IN CONTACT WITH THE FIXTURE CAN. NON-"IC" RATED FIXTURES MUST NOT COME IN CONTACT WITH INSULATION.
 FIXED PANEL DOORS AND HALF-HIGH WALLS AND RAILING ALSO COUNTS AS WALL SPACE.
 AT ALL EXTERIOR DOORS, LIGHT SWITCHES MUST BE INSTALLED FOR BOTH INTERIOR AND EXTERIOR LIGHTS. LIGHT SWITCHES MUST BE ADJACENT TO AND IN THE SAME ROOM AS THE DOOR OPENING.
 GROUND FAULT OUTLETS ARE REQUIRED IN KITCHEN, BATHROOMS, GARAGES, UNFINISHED BASEMENTS, OUTDOORS, CRAWL SPACES AND ANY OUTLET WITHIN 6' OF SINK. "IN USE" COVERS ARE REQUIRED ON ALL OUTDOOR OUTLETS.
 LIGHT FIXTURES INSTALLED IN CLOTHES CLOSETS MUST MAINTAIN CLEARANCE FROM THE SHELF (COUNT A MINIMUM 12" SHELF). FLUORESCENT FIXTURES REQUIRE 6" CLEARANCE. SURFACE MOUNTED FIXTURES MUST BE TOTALLY ENCLOSED AND RECESSED INCANDESCENT FIXTURES REQUIRES A SOLID LENSES TO BE USED IN A CLOSET. INCANDESCENT FIXTURES REQUIRE 12" HORIZONTAL CLEARANCE FROM ANY SHELVES.
 SMOKE DETECTORS TO BE INSTALLED IN ALL BEDROOMS, OUTSIDE EACH SLEEPING AREA AND A SMOKE ALARM ON EACH STORY.
 PHONE, CABLE JACKS, INTERNET, STEREO OR ANY OTHER SUCH OUTLETS TO BE PLACED PER BUILDER/CLIENTS SPECS. ANY OTHER LIGHTING OR ELECTRICAL REQUIREMENTS PER BUILDER/CLIENT SPECS.

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BASEMENT FLOOR PLAN
 PROJECT: GLADSTONE C
 Aarons Cress Lot 203
 Permit

DATE APPROVED: SEPT. 2022
 SHEET SIZE: 11 X 17
 SCALE: 1/8" = 1'-0" (UNLESS NOTED)
 SHEET: 5 OF 7



GENERAL FLOOR PLAN NOTES:

DIMENSIONS PULLED FROM OUTSIDE OF STUD. ALL WALLS ARE 2x4 @ 16" O.C., UNLESS NOTED. HATCHING REPRESENTS 2x6 STUDS @16" O.C.

LUMBER SUPPLIER AND/OR ENGINEER TO VERIFY SIZE AND MATERIAL OF ALL BEAMS.

ANGLES ARE 45 DEGREES, UNLESS NOTED

10'-1 1/8" CEILING HGT FIRST FLOOR, UNLESS NOTED

9'-1 1/8" CEILING HGT SECOND FLOOR, UNLESS NOTED. ALL WINDOWS 24" OFF FINISHED FLOOR ON UPPER LEVEL.

PLACE ATTIC ACCESS ON SITE AS REQ'D PER CODES AND MECHANICAL EQUIPMENT REQ'D.

DUE TO LOCAL CODES AND INSPECTIONS, CONTRACTOR SHALL VERIFY ALL CODES, CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE REPORTED TO JAMIE TAYLOR FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.



GENERAL ELECTRICAL AND LIGHTING NOTES:

LIGHT FIXTURE LOCATIONS AND TYPE PER OWNER SPECS, UNLESS PLAN PROVIDED.

OUTLET SPACING 6'-12'-2". OUTLETS REQUIRED WITHIN 6' FROM ANY DOORWAY OR OPENING, 12" TO THE NEXT OUTLET (MAX DISTANCE OF 12" BETWEEN OUTLETS) AND ANY WALL SPACE 2' WIDE OR WIDER REQUIRES AN OUTLET.

EACH ROOM MUST HAVE A WALL SWITCH CONTROLLED LIGHT FIXTURE OR SWITCHED OUTLET.

WHEN INSTALLING RECESSED FIXTURES, MAKE SURE THE FIXTURE IS RATED FOR THE INSTALLATION. AN "IC" RATED FIXTURE IS REQUIRED WHEN INSULATION COMES IN CONTACT WITH THE FIXTURE CAN. NON-"IC" RATED FIXTURES MUST NOT COME IN CONTACT WITH INSULATION.

FIXED PANEL DOORS AND HALF-HIGH WALLS AND RAILING ALSO COUNTS AS WALL SPACE.

AT ALL EXTERIOR DOORS, LIGHT SWITCHES MUST BE INSTALLED FOR BOTH INTERIOR AND EXTERIOR LIGHTS. LIGHT SWITCHES MUST BE ADJACENT TO AND IN THE SAME ROOM AS THE DOOR OPENING.

GROUND FAULT OUTLETS ARE REQUIRED IN KITCHEN, BATHROOMS, GARAGES, UNFINISHED BASEMENTS, OUTDOORS, CRAWL SPACES AND ANY OUTLET WITHIN 6' OF SINK. "IN USE" COVERS ARE REQUIRED ON ALL OUTDOOR OUTLETS.

LIGHT FIXTURES INSTALLED IN CLOTHES CLOSETS MUST MAINTAIN CLEARANCE FROM THE SHELF (COUNT A MINIMUM 12" SHELF). FLUORESCENT FIXTURES REQUIRE 6" CLEARANCE. SURFACE MOUNTED FIXTURES MUST BE TOTALLY ENCLOSED AND RECESSED INCANDESCENT FIXTURES REQUIRES A SOLID LENSES TO BE USED IN A CLOSET. INCANDESCENT FIXTURES REQUIRE 12" HORIZONTAL CLEARANCE FROM ANY SHELVES.

SMOKE DETECTORS TO BE INSTALLED IN ALL BEDROOMS, OUTSIDE EACH SLEEPING AREA AND A SMOKE ALARM ON EACH STORY.

PHONE, CABLE JACKS, INTERNET, STEREO OR ANY OTHER SUCH OUTLETS TO BE PLACED PER BUILDER/CLIENTS SPECS. ANY OTHER LIGHTING OR ELECTRICAL REQUIREMENTS PER BUILDER/CLIENT SPECS.

VERIFY ALL LOCAL CODES, CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JAMIE TAYLOR FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED. JAMIE TAYLOR ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED

SQUARE FOOTAGE:
 MAIN HEATED = 2463
 UPPER HEATED = 827
 BONUS & 1/2 BATH = 358
 TOTAL HEATED = 3648

FUTURE BASEMENT = 1801
 GARAGE = 626
 FRONT PORCH = 249
 REAR PORCH = 236

TOTAL UNDER ROOF = 6560

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MAIN LEVEL FLOOR PLAN
 PROJECT: GLADSTONE C
 Aarons Cress Lot 203
 Permit

DATE APPROVED: SEPT. 2022

SHEET SIZE: 11 X 17

SCALE: 1/8" = 1'-0" (UNLESS NOTED)

SHEET: 6 OF 7



GENERAL FLOOR PLAN NOTES:

DIMENSIONS PULLED FROM OUTSIDE OF STUD.
 ALL WALLS ARE 2x4 @ 16 O.C., UNLESS NOTED
 HATCHING REPRESENTS 2x6 STUDS @16 O.C.

LUMBER SUPPLIER AND/OR ENGINEER TO VERIFY SIZE OF ALL BEAMS.

ANGLES ARE 45 DEGREES, UNLESS NOTED

10'-1 1/8" CEILING HGT FIRST FLOOR, UNLESS NOTED

9'-1 1/8" CEILING HGT SECOND FLOOR, UNLESS NOTED
 ALL WINDOWS 24" OFF FINISHED FLOOR ON UPPER LEVEL.

PLACE ATTIC ACCESS ON SITE AS REQ'D PER CODES AND MECHANICAL EQUIPMENT REQ'D.

DUE TO LOCAL CODES AND INSPECTIONS VARYING, CONTRACTOR SHALL VERIFY ALL CODES, CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE REPORTED TO JAMIE TAYLOR FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.

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GENERAL ELECTRICAL AND LIGHTING NOTES:

LIGHT FIXTURE LOCATIONS AND TYPE PER OWNER SPECS, UNLESS PLAN PROVIDED.

OUTLET SPACING 6'-12'-2". OUTLETS REQUIRED WITHIN 6' FROM ANY DOORWAY OR OPENING, 12' TO THE NEXT OUTLET (MAX DISTANCE OF 12' BETWEEN OUTLETS) AND ANY WALL SPACE 2' WIDE OR WIDER REQUIRES AN OUTLET.

EACH ROOM MUST HAVE A WALL SWITCH CONTROLLED LIGHT FIXTURE OR SWITCHED OUTLET.

WHEN INSTALLING RECESSED FIXTURES, MAKE SURE THE FIXTURE IS RATED FOR THE INSTALLATION. AN "IC" RATED FIXTURES IS REQUIRED WHEN INSULATION COMES IN CONTACT WITH THE FIXTURE CAN. NON-"IC" RATED FIXTURES MUST NOT COME IN CONTACT WITH INSULATION.

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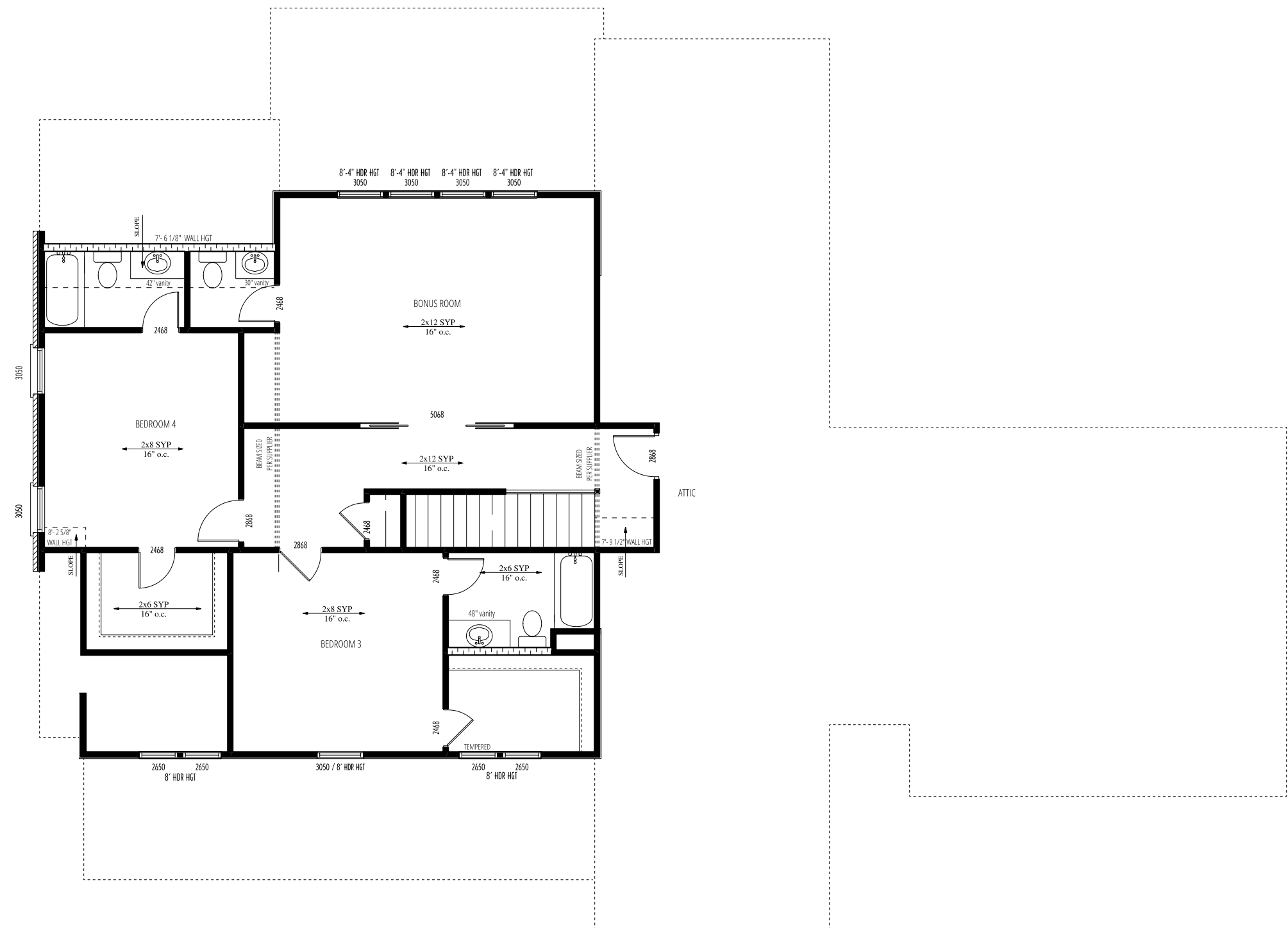
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SMOKE DETECTORS TO BE INSTALLED IN ALL BEDROOMS, OUTSIDE EACH SLEEPING AREA AND A SMOKE ALARM ON EACH STORY.

PHONE, CABLE JACKS, INTERNET, STEREO OR ANY OTHER SUCH OUTLETS TO BE PLACED PER BUILDER/CLIENTS SPECS. ANY OTHER LIGHTING OR ELECTRICAL REQUIREMENTS PER BUILDER/CLIENT SPECS.



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UPPER LEVEL FLOOR PLAN
 PROJECT: GLADSTONE C
 Aarons Cress Lot 203
 Permit

DATE APPROVED:
 SEPT. 2022
 SHEET SIZE:
 11 X 17
 SCALE: 1/8" = 1'-0"
 (UNLESS NOTED)
 SHEET:
7 OF 7